

HUALAPAI INDIAN NATION
PEACH SPRINGS, ARIZONA
IFB NO. 03-2023

Pre-Bid Questions and Answers on Invitation for Bids from Residential Building Contractors for
Renovation of Single-Family Home in Peach Springs, AZ

September 22, 2023

ADDENDUM NO. 2


Response to Questions

1. *Would you like to specify self-closing base cabinet drawers? Yes.*
2. *Has a color pattern been selected for the plastic laminate kitchen counter top? Yes, owner has selected Home Depot's In-Stock Black counter top or equivalent (see attached).*
3. *Are tile showers acceptable vs. molded fiberglass? Yes. Please note that Master Bathroom shower must be "roll-in" for ADA accessibility. The original specification for the Freedom shower kit in the Master Bathroom is still acceptable if the tile shower option is unable to meet ADA standards.*
4. *Will the wall dividing the Living Room and Kitchen be removed or cut down to a knee wall with a bar top? Yes (see attached plans). The design also includes installing a new 4x10 header support by 4x4 end posts to support roof trusses.*
5. *With the Master Bath being enlarged, can we place a soffit over the new sink area to keep the existing ventilation ducts in place? Yes.*
6. *Should we upgrade to R38 blown-in insulation in the attic space? Yes.*
7. *Will the owner be able to move furniture to repaint the interior walls and ceiling that must be repainted where drywall is being repaired? Yes.*
8. *Where will the new exterior door be located for Bid Additive No. 5? See attached plans.*

Should you have any questions regarding this Addendum, please contact me at (928) 769-1310.

Except as modified herein all other specifications, terms, conditions and special provisions shall remain the same.

ISSUED BY:



Kevin Davidson
Planning Director

Encl: Sign-In Sheet
Counter top color selection
Revised Architectural Plans

cc: File

Pre-Bid Sign-In Sheet for IFB No. 03-2023 for HIP Home Renovation in Peach Springs

9/19/2023

Name	Company	Telephone	E-mail
1	Carlos Amador	928-234-480	Vconstruccion@gmail.com
2	Kemp Builders	(928)-239-1310	Kemp Builders Hesperia - CA.gov
3	Hudgins Group		
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IN-STOCK COUNTERTOP COLORS

					
White	Gray	Black	Brown	Beige	Blue

BUTCHER BLOCK WOOD SPECIES

					
Birch	Acacia	Hershey	Walnut	Sassafras	Maple

Renovation of Davis-Wauneka Residence



Photos of Existing Home



Street view of Residence on Diamond Creek Road



North view of Residence on Diamond Creek Road

General Notes

1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2018 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE, WITH LOCAL JURISDICTION BUILDING CODE AMENDMENTS AND ALL OTHER APPLICABLE GOVERNING ORDINANCES AND STANDARDS. SEE CODE LIST AT RIGHT.
2. THE DRAWINGS AND NOTES INDICATE THE GENERAL SCOPE OF THE PROJECT, AS SCOPE DOCUMENTS, THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR THE FULL PERFORMANCE AND COMPLETION OF THE WORK. THE CONTRACTOR IS TO FURNISH ALL ITEMS REQUIRED FOR PROPER COMPLETION OF THE WORK WITHOUT ADJUSTMENT TO CONTRACT PRICE. IT IS INTENDED THAT THE WORK TO BE OF SOUND AND QUALITY CONSTRUCTION AND THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE INSTALLATION OF ALL ITEMS INDICATED, DESCRIBED OR REASONABLY IMPLIED. ANY ALLOWANCE PROPOSALS OR ANY PROPOSED DEVIATION FROM DRAWINGS MUST BE LISTED IN BID WITH PRICING OF PROPOSED WORK CLEARLY SEPARATED AND EXPLAINED.
3. CONTRACTOR SHALL FULLY FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND SCOPE OF NEW WORK. THE CONTRACTOR SHALL VISIT THE PREMISE WHERE THIS WORK IS TO BE PERFORMED AND VERIFY ALL SITE CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL INVESTIGATE, VERIFY, AND BE RESPONSIBLE FOR ALL CONDITIONS AND DIMENSIONS OF THE PROJECT, AND SHALL NOTIFY OWNER ABOUT ANY CONDITION REQUIRING MODIFICATIONS OR CHANGE BEFORE PROCEEDING WITH THE WORK.
4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY COMMENCEMENT OF WORK. ANY DISCREPANCIES SHOWN ON THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE TRIBE.
5. DO NOT SCALE THESE DRAWINGS FOR ACCURACY. ALL DIMENSIONS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR AT THE PROJECT SITE.
6. ALL EXIT SIGNS REQUIRED ARE TO BE ILLUMINATED PER THE ELECTRICAL CODE AND SHALL BE CEILING OR WALL MOUNTED.
7. ALL REQUIRED EXITS SHALL BE OPERABLE FROM THE INSIDE WITHOUT SPECIAL KNOWLEDGE OR THE USE OF A KEY.
8. PROVIDE BLOCKING OR BACKING PLATE AS REQUIRED TO SECURELY ANCHOR ALL WALL MOUNTED EQUIPMENT (CABINETS, HARDWARE, DOOR BUMPERS, GRAB BARS) ETC.
9. THE GENERAL CONTRACTOR SHALL VERIFY AND COORDINATE WITH ALL TRADES, SIZES AND LOCATIONS OF ALL OPENINGS MECHANICAL, AND ELECTRICAL EQUIPMENT, AS WELL AS POWER, BEFORE PROCEEDING WITH WORK. ANY CONCERNS OR STRUCTURAL CONFLICTS, SHALL BE BROUGHT TO THE ATTENTION OF THE TRIBE.
10. ALL FLOOR OR WALL OPENINGS REQUIRED FOR PIPES, DUCTS, CONDUITS, ETC. SHALL BE SEALED IN AN AIR TIGHT MANNER. ALL RATED ASSEMBLIES SHALL BE MAINTAINED AND REPAIRED AS REQUIRED TO MEET CODE.
11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ELECTRICAL RECEPTACLES, J-BOXES AND SWITCHES TO AVOID CASEWORK, DOORS, ETC.
12. VERIFY DIMENSIONS AND LOCATIONS OF ALL OPENINGS, BASES, ETC., AND PROVIDE ANY SPECIAL PROVISIONS REQUIRED FOR EQUIPMENT, DUCTS, PIPING, CONDUITS, FINISH HARDWARE, ETC.
13. ALL FLOORING TRANSITIONS AND DOOR THRESHOLDS TO BE A MAXIMUM OF 1/2" IN HEIGHT DIFFERENCE WITHOUT THE USE OF A RAMP.
14. FIRE EXTINGUISHERS ARE TO BE PROVIDED IN ACCORDANCE WITH THE IFC AND NFPA 10.

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Code Compliance

2018 International Residential Code (IRC)
2017 National Electric Code (NEC)

Grant Information

2023 Housing Improvement Program
Award No. A16AV01017-0010

Jurisdictional

Hualapai Planning and Economic
Development Department
(928) 769-1310, Kevin Davidson, Director

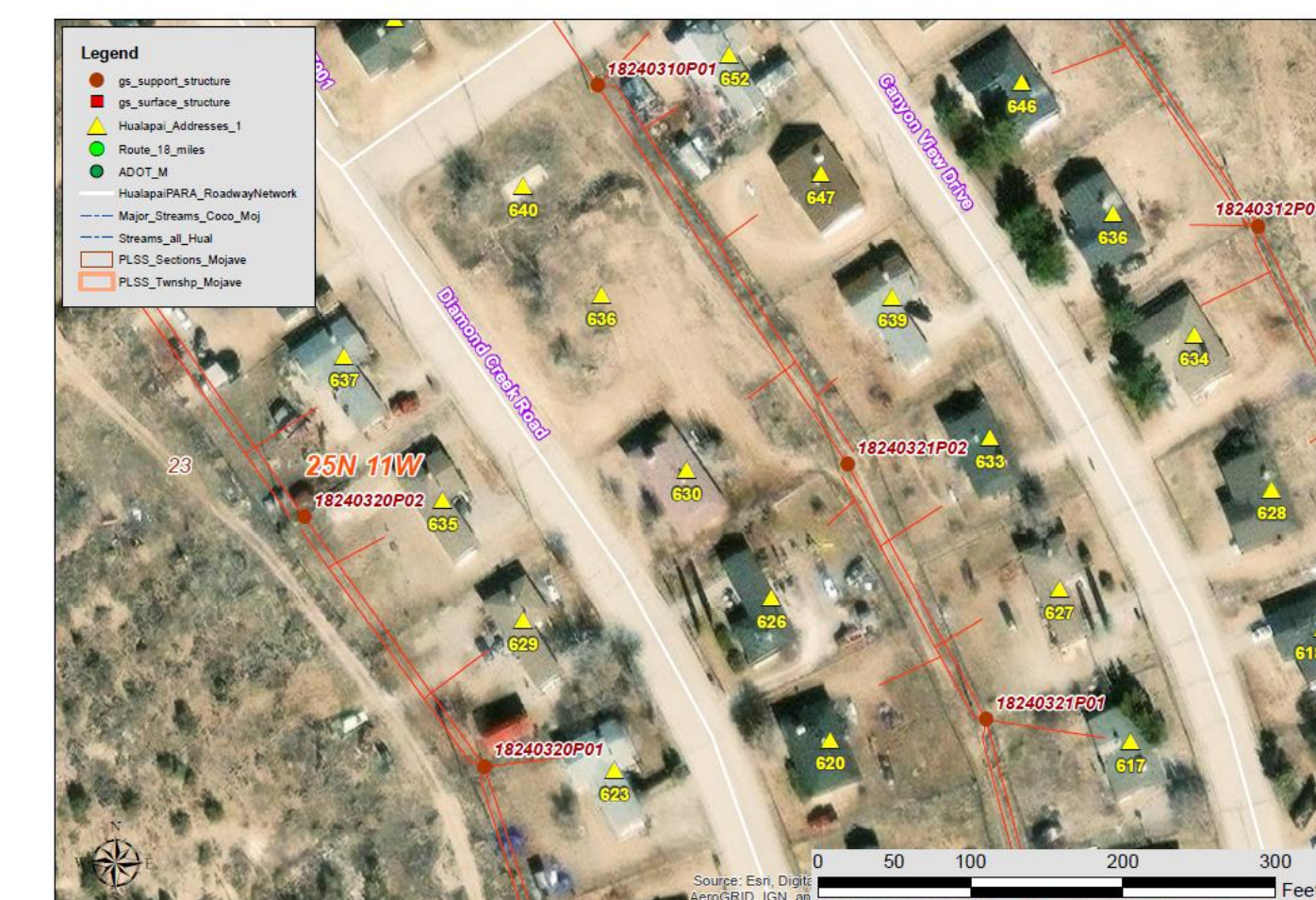
Hualapai Fire Department
(928) 769-2656, Kris Blake, Chief

Hualapai Public Services
(928) 769-2216, Phil Wisely, Director

Legal Description

Lot 12, Tract D, AZ17-2, Sect 23, T25N,
R11W, G&SRM containing 0.29 acres

630 Diamond Creek Road and Vicinity

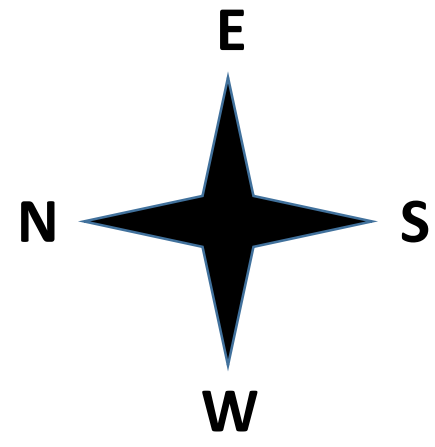


Project: Single-Family Home
Address: 630 Diamond Creek Road, Peach Springs, Arizona
Sponsor: Hualapai Planning & Economic Development Department

Date: August 25, 2023
Revision: Sept 15, 2023
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Cover

Drawn by: Kevin Davidson, 7/19/2023



Selective Demolition Floor Plan

Scale: 1/4" = 1' - 0"



General Notes:

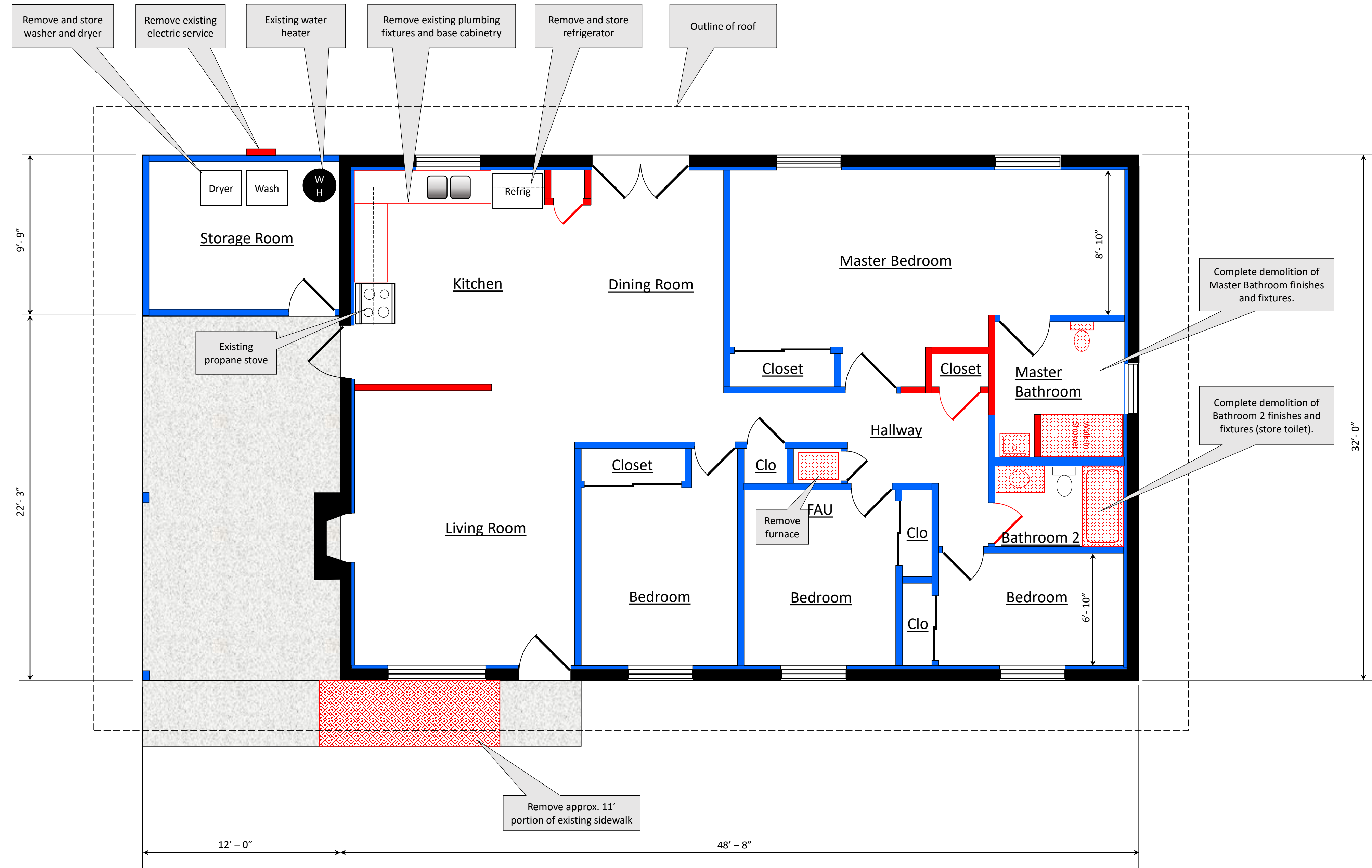
Existing 1,674 sq. ft. home constructed ca. 1970 (HUD Project AZ-14-2)
 CMU slump block exterior walls with wallboard mounted on furring strips and 2x stud interior wall framing w/ wallboard.
 2x wood trusses at 24" O.C. w/ plywood sheathing and wallboard ceiling.
 Gas heater w/ forced air unit in Hall closet and evaporative cooler mounted on roof.

Demolition Notes:

Remove exterior paint on fascia and eaves
 Remove roof shingles and underlayment
 Remove roof sheathing as needed
 Remove windows (Bid Alternate)
 Complete Master Bath demolition
 Remove pantry and base cabinets in Kitchen
 Remove part of exist sidewalk for new ADA ramp to front door.

Legend:

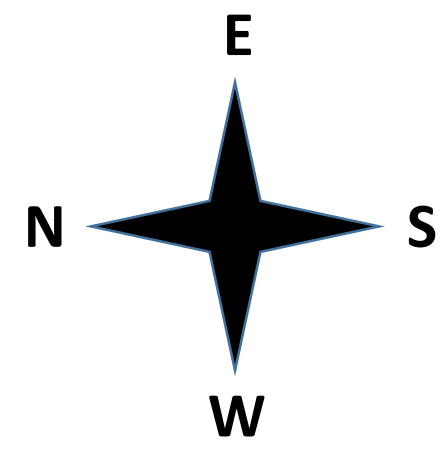
- Remove wall
- Exist CMU wall to remain
- Exist conc. slab to remain
- Exist 2x wall to remain



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New Construction Floor Plan

Scale: 1/4" = 1'-0"

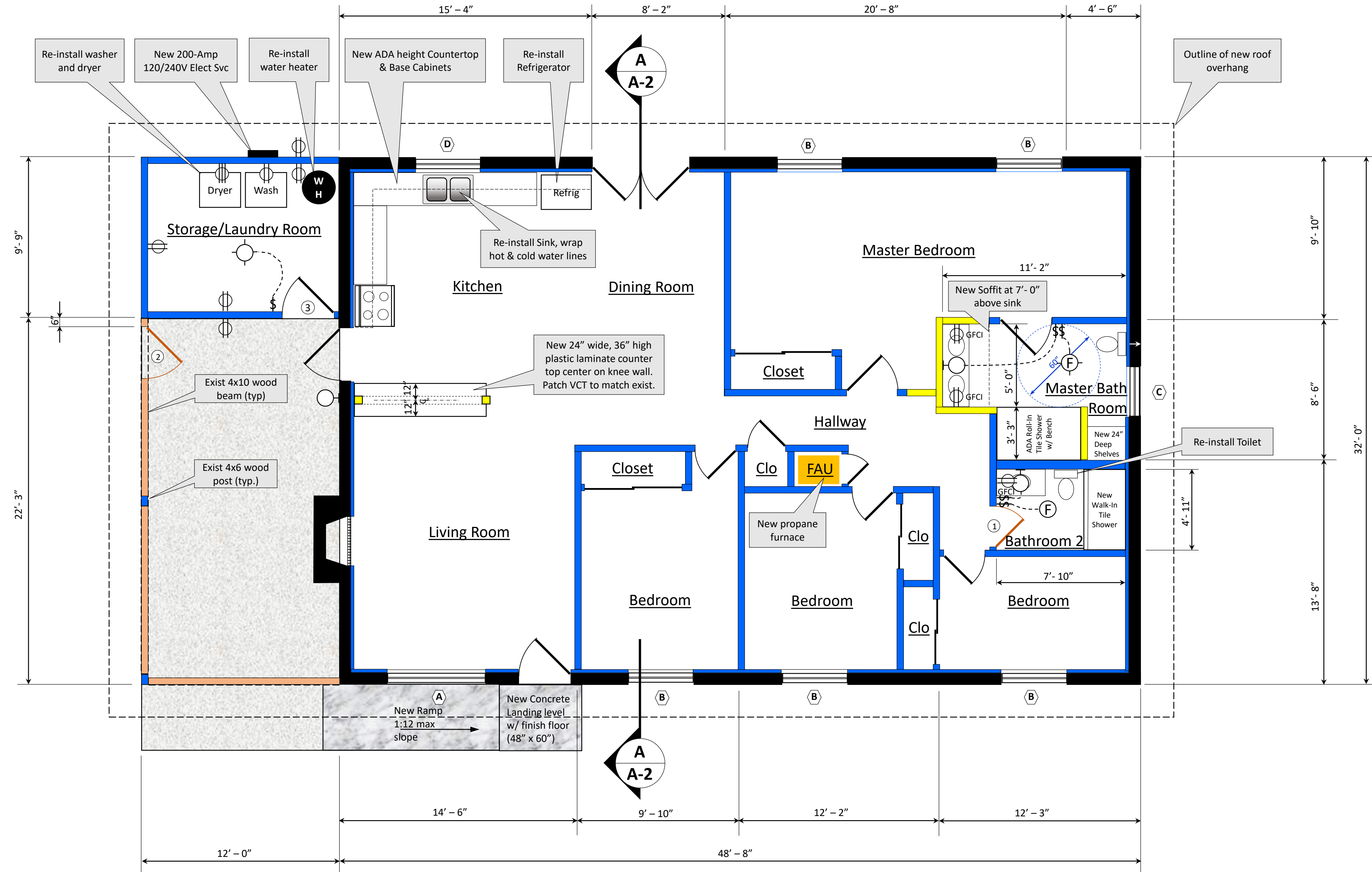


General Notes:

Existing 1,674 sq. ft. home constructed ca. 1970 (HUD Project AZ 14-2)
 Existing concrete slab. Verify slab is in good condition and patch & repair as needed.
 Existing CMU slump block exterior walls to remain. Verify solid grouting and rebar reinforcing in CMU walls at 48" O.C.

SCOPE OF WORK FOR HOME AT 630 DIAMOND CREEK RD SHALL INCLUDE THE FOLLOWING DESIGN FEATURES AND AMENITIES:

- Selective demolition of interior walls, cabinetry, plumbing fixtures, floor tile, wood siding, roofing, etc..
- Frame new 2x4 interior walls @ 24" O.C. and apply 5/8" gyp board over mineral wool sound insulation.
- Patch, repair and paint interior gypsum board as occurs.
- Place asphalt roof shingles (Owens Corning or equal), over breathable synthetic underlayment and replace existing roof sheathing as needed.
- Repair/replace and paint exterior wood siding on Laundry Room to match existing.
- Use low VOC, latex enamel paint on interior walls.
- New 4" concrete (3,000 psi) ADA ramp at front door.
- New 200-amp electric service.
- New 4-ton propane furnace
- Master Bath electrical outlet (GFCI), switch, light fixture, ceiling fan to meet 2017 NEC. Electrical outlets and switches shall be Leviton, Slater, or equal.
- New vinyl plank flooring in bathrooms.
- New ADA grab bars and hardware in Master Bathroom.
- New ADA compliant plumbing fixtures in Master Bathroom.
- New 4" vinyl base in Master Bathroom.
- Re-install washer and dryer as shown on plan.
- Re-install water heater.
- Re-install toilet in Bathroom 2
- Repair service lines, including propane gas line, as needed.
- Place R-30 insulation batts in attic (Bid Additive).
- Remove exterior paint and re-paint exterior concrete walls w/ elastomeric paint (Bid Additive).
- Remove paint from fascia boards and eaves and re-paint (Bid Additive).
- New double-pane insulated windows (Bid Additive see window schedule).
- Close in existing carport (Bid Additive 2x wall w/ R11 insulation, 5/8" gyp. bd. & wood siding)



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Electrical Legend:

- Ceiling mounted Exhaust Fan
- Ceiling mounted Smoke/CO detector
- Ceiling mounted Light Fixture
- Ceiling mounted Fan/Light Fixture
- Wall-Mount Light
- Duplex electric Outlet
- 240 V Outlet
- Light switch

Wall & Floor Legend:

- Existing CMU wall
- New 2x interior wall
- New 2x exterior wall
- Exist 2x wall
- Exist conc. slab to remain
- New conc. ramp & slab

Code Compliance:
 IRC 2018
 NEC 2017

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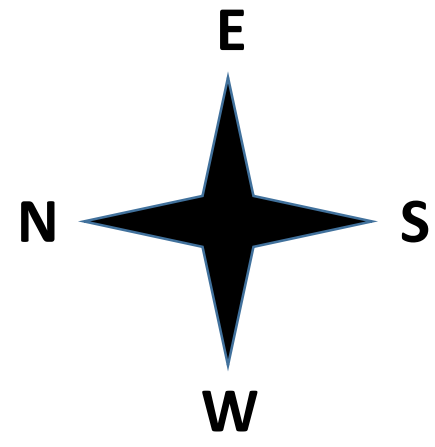
A-1

No.	Size	Head	Jamb	Threshold	Finish	Hardware	Remarks
1	2'-6" x 6'-8" x 1.38"	Pre-Hung	Pre-Hung	None	Paint	Passage	Hollow Core, 6 pnl
2	3'-0" x 6'-8" x 1.75"	Pre-Hung	Pre-Hung	Anod Alum	Pre-Fin	Deadbolt, Lever & Sec Scrn	Fiberglass, 6 pnl, Bid Add 5

Type	Size	Glass	Frame	U-Factor	Remarks
A	6'-0" x 4'-0" XO	Dual-pane, Low-E	Wood/Vinyl	<0.26	
B	4'-0" x 4'-0" XO	Dual-pane, Low-E	Wood/Vinyl	<0.26	
C	3'-0" x 1'-0" XO	Dual-pane, Low-E	Wood/Vinyl	<0.26	fog glaze
D	4'-0" x 3'-0" XO	Dual-pane, Low-E	Wood/Vinyl	<0.26	

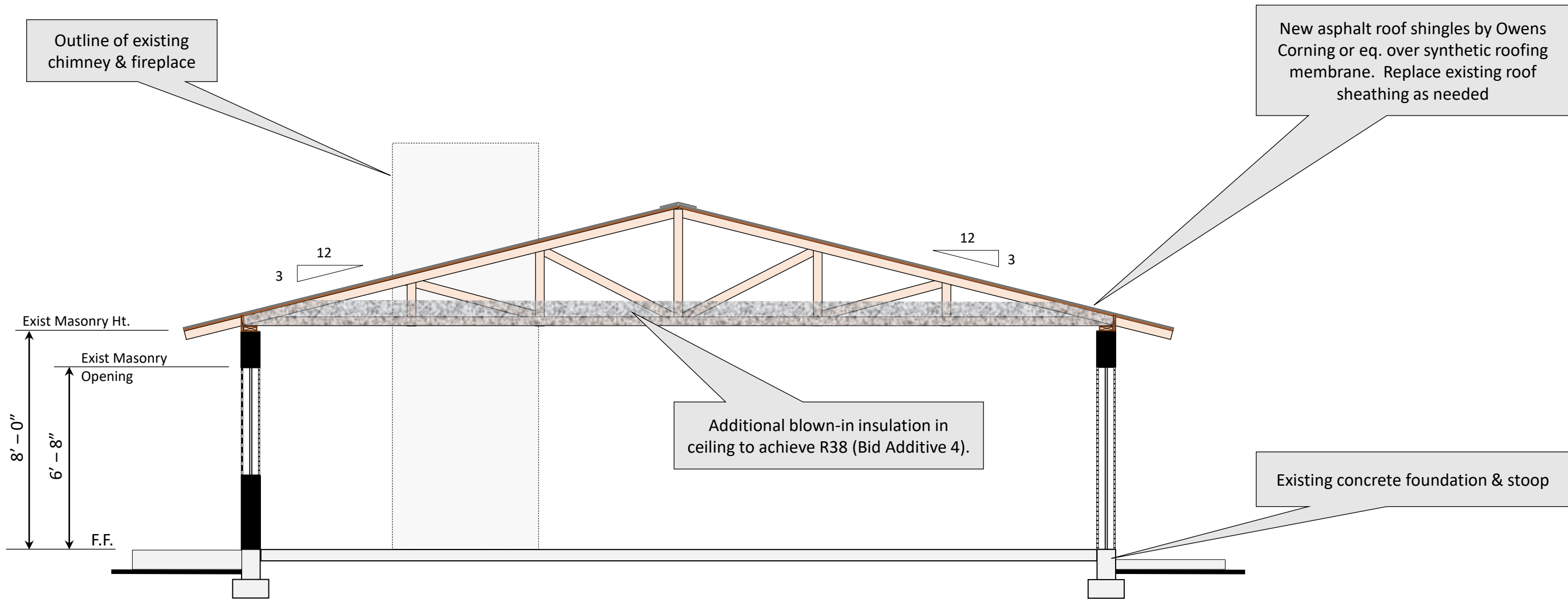
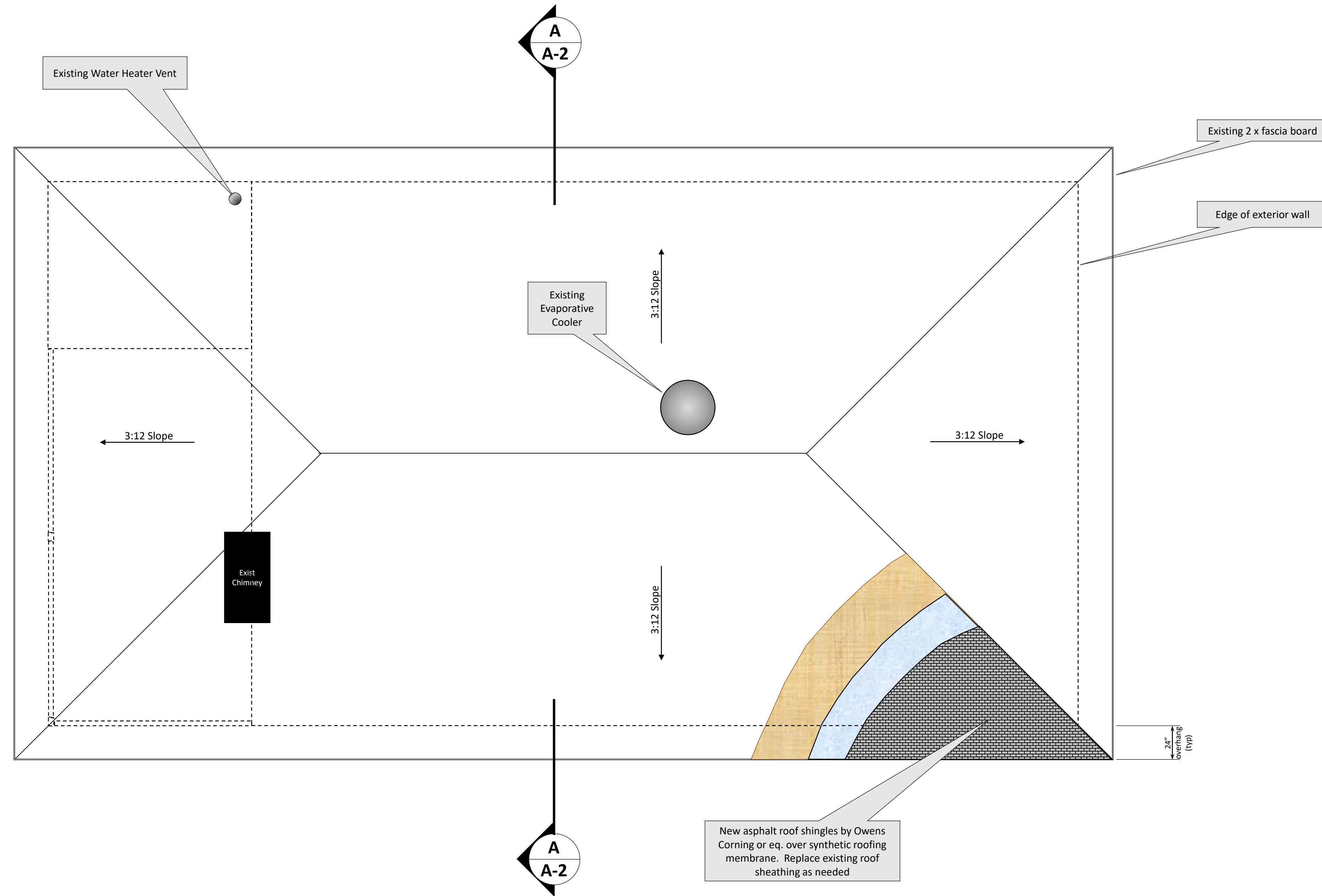
Bid Additives

- No. 1 – Add blown-in insulation to achieve R38 value
- No. 2 - Remove paint from fascia boards and eaves and re-paint
- No. 3 - Remove exterior paint and re-paint exterior concrete walls w/ elastomeric paint
- No. 4 - Install new double-pane windows per Window Schedule
- No. 5 – Close in existing carport (2x wall w/ R11 insulation, 5/8" gyp. bd. & wood siding to match existing)
- No. 6 - Replace existing propane furnace & evaporative cooler with roof-mounted propane fired gas pack unit



Roof Plan

Scale: 1/4" = 1'-0"



Cross-Section A

Scale: 1/4" = 1'-0"

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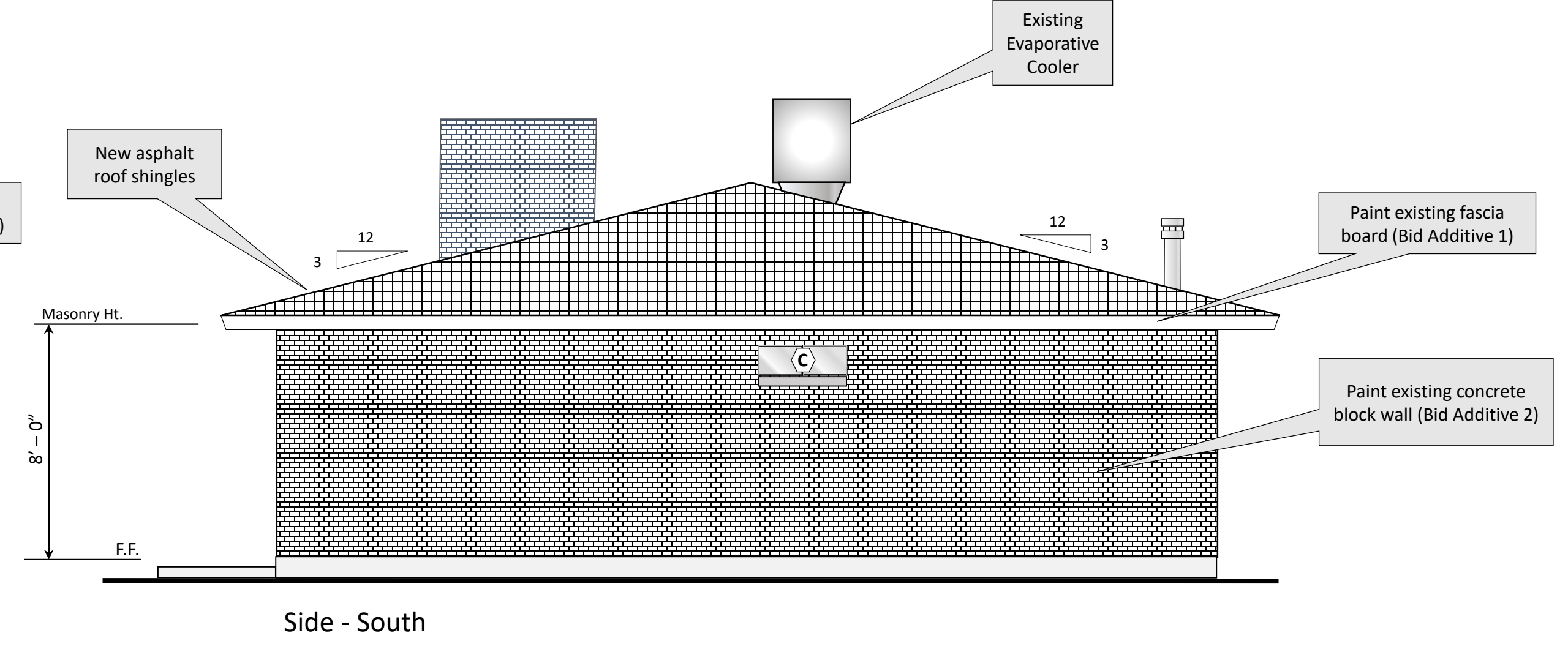
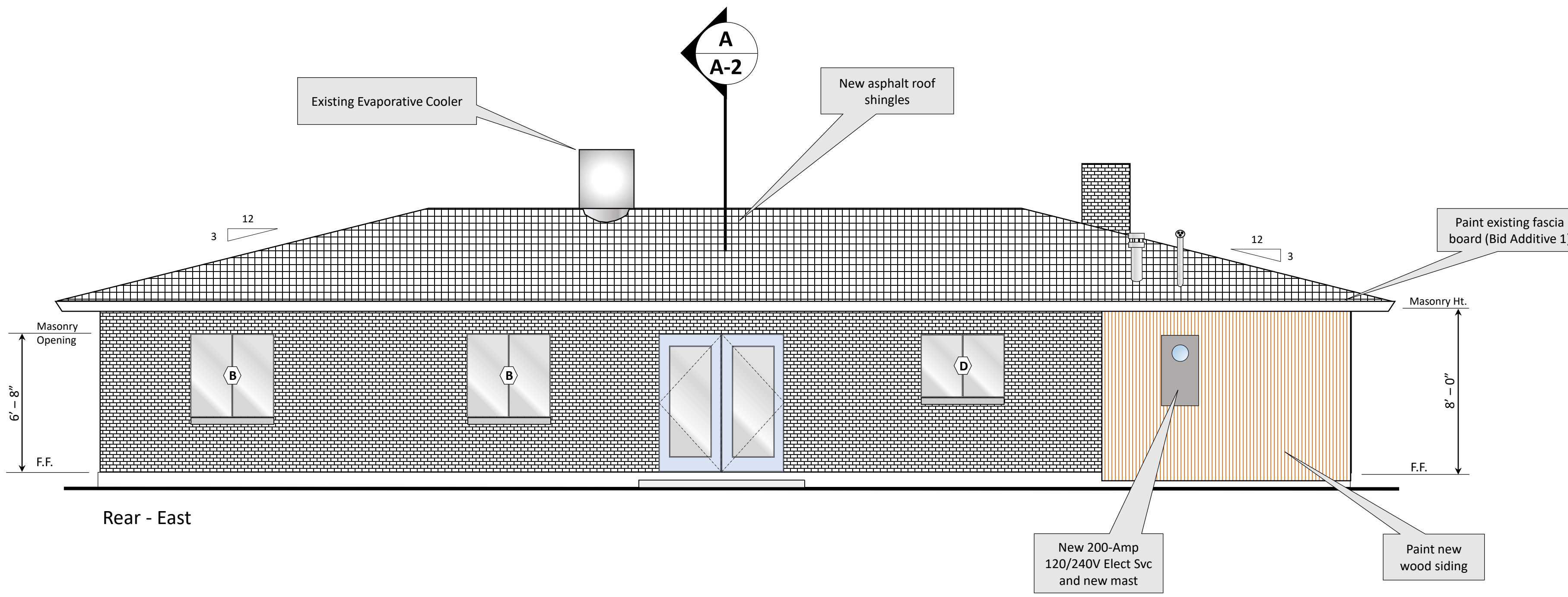
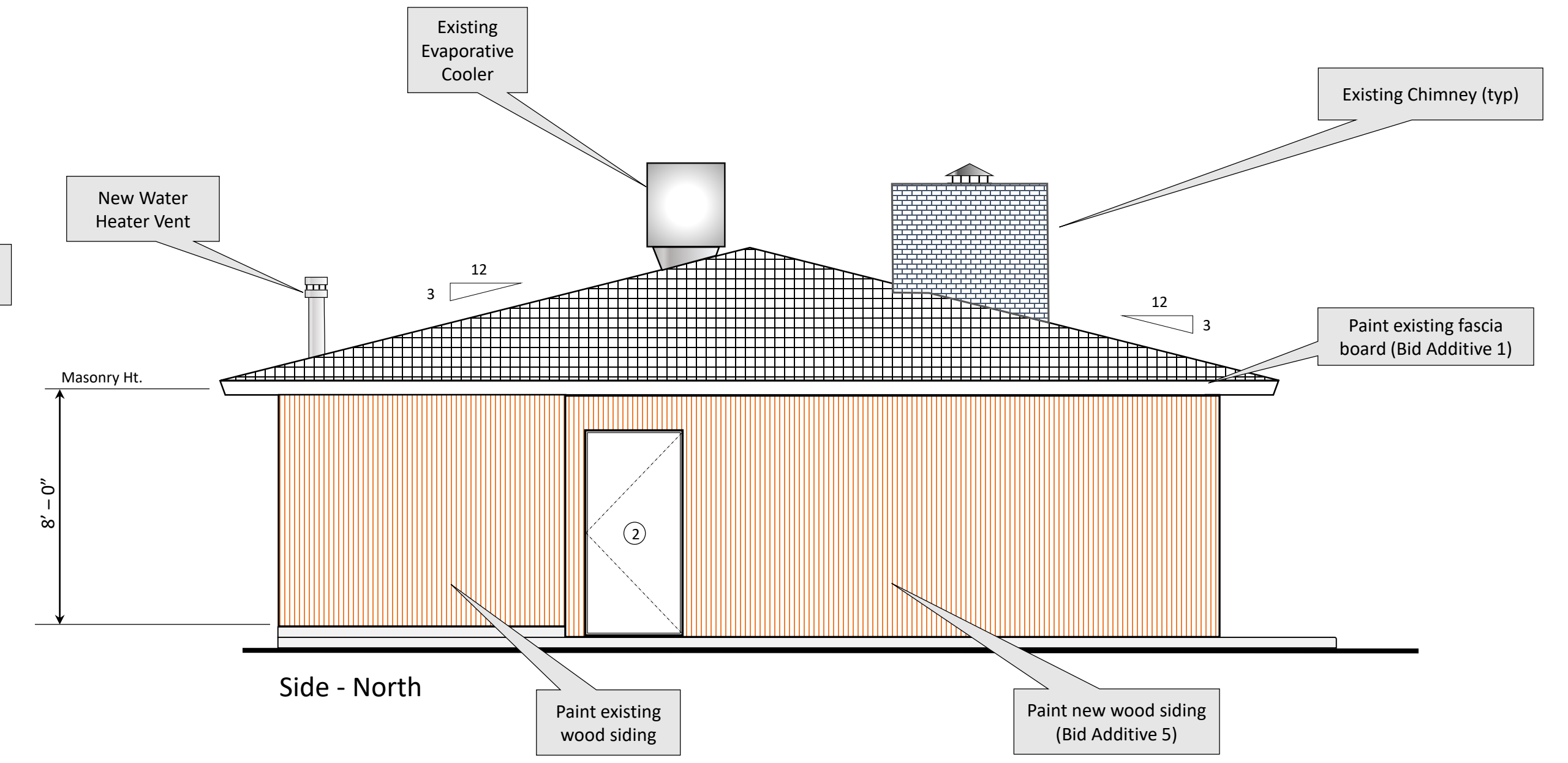
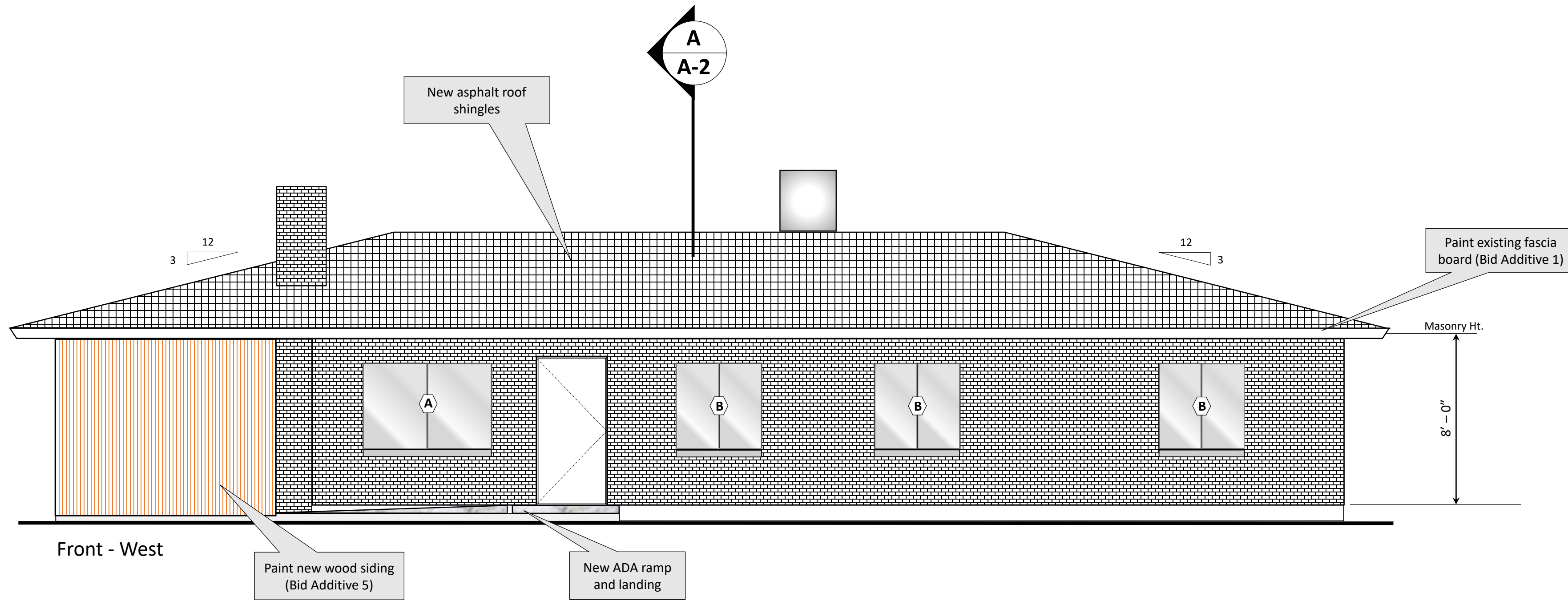
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Exterior Elevations

Scale: 1/4" = 1'-0"



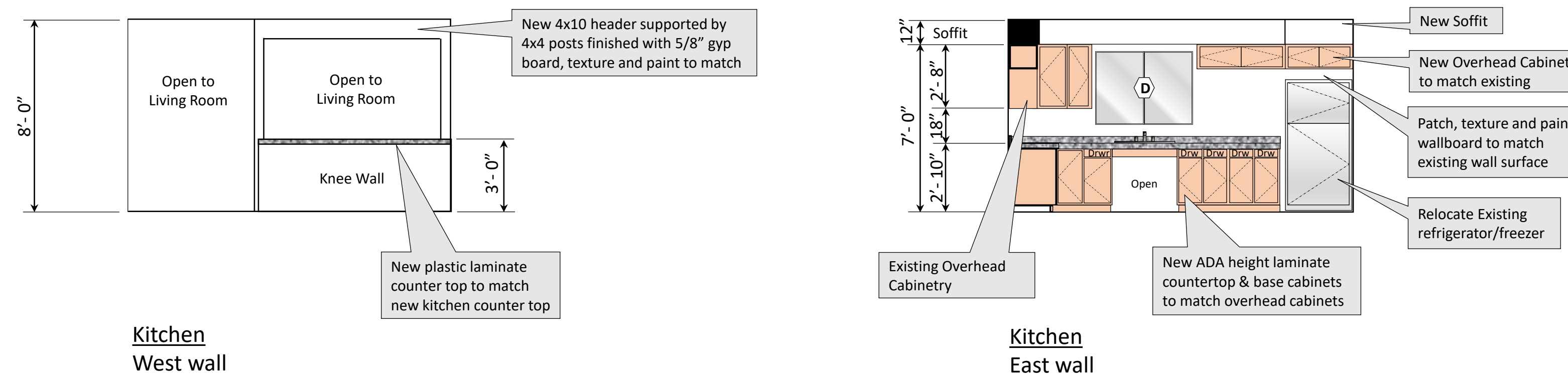
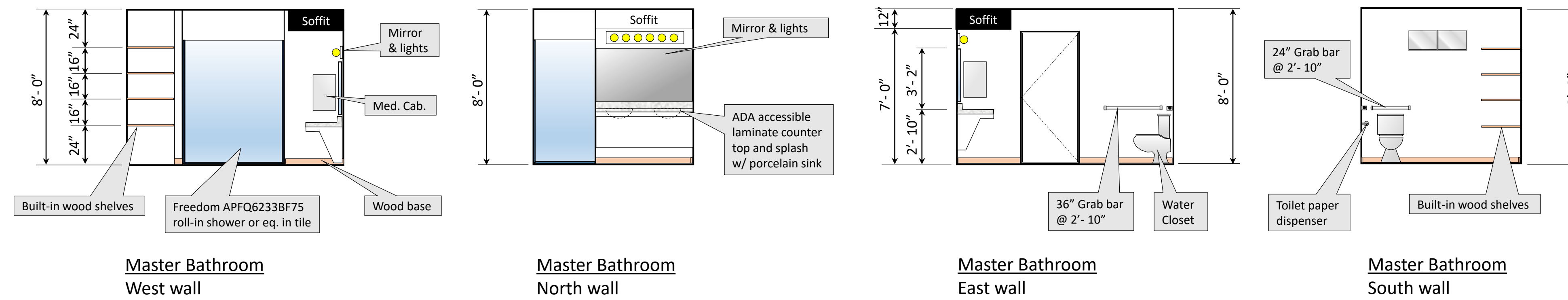
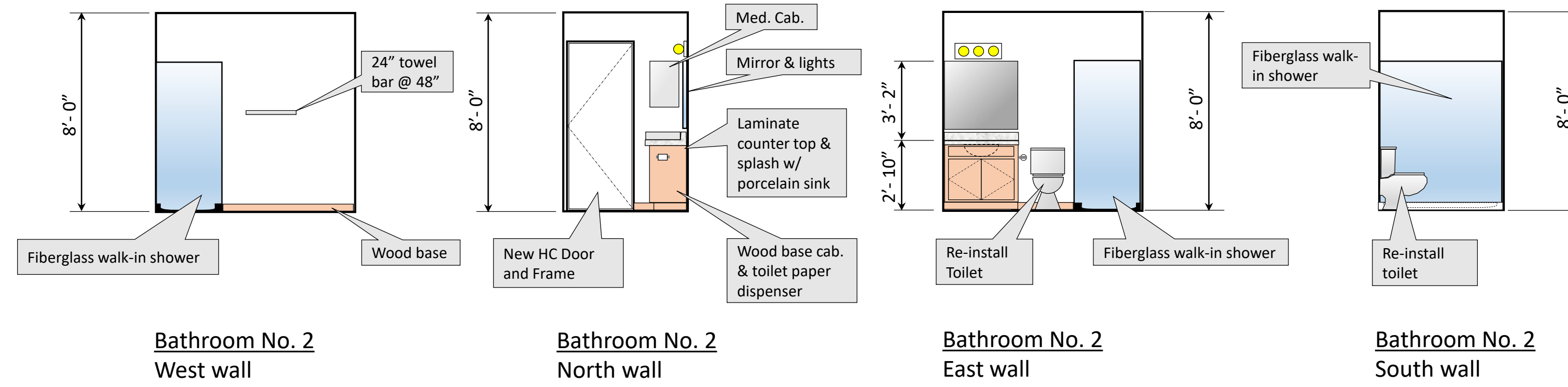
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Interior Elevations

Scale: 1/4" = 1' - 0"



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