

HUALAPAI INDIAN NATION  
PEACH SPRINGS, ARIZONA  
IFB NO. 03-2023

Pre-Bid Questions and Answers on Invitation for Bids from Residential Building Contractors for  
Renovation of Single-Family Home in Peach Springs, AZ

September 15, 2023

**ADDENDUM NO. 1**

**Response to Questions**

1. *Can we replace the entire set of base cabinets in the kitchen rather than try to match the existing base cabinets? Yes, please provide pricing for replacing the base cabinets and laminate counter top. Counter height must be ADA compatible at 34" high.*
2. *Should we repair drywall and tape on existing wall separating Kitchen from Living Room? Yes.*
3. *Will the owner accept a gas furnace in lieu of a new electric furnace as noted on the plans? Yes, please specify a new propane furnace to replace the existing propane furnace.*
4. *Also, would you like pricing to replace the existing evaporative cooler and propane furnace with a roof mounted propane gas pack unit? Yes, please include this pricing as a bid additive.*
5. *Can we upgrade from VCT flooring to LVT plank flooring in the bathrooms? Yes.*
6. *Should we replace the door and frame to the Bathroom No.2? Yes.*
7. *Also, can we re-use the existing toilet in Bathroom No. 2? Yes.*
8. *Given previous roof leaks around the chimney and southern part of roof over the bathrooms we recommend re-sheathing in these areas. Yes, estimate replacing 15 to 20 4'x8' sheets of roof sheathing.*
9. *Will you accept blown-in ceiling insulation in lieu of new R-30 batts? Yes, please provide sufficient blown-in insulation to achieve an R30 value for Bid Additive No. 1.*
10. *Should we extend the length of the ADA ramp to the front door to remove cracks in the existing concrete sidewalk? Yes, see attached floor plan.*

Should you have any questions regarding this Addendum, please contact me at (928) 769-1310.

Except as modified herein all other specifications, terms, conditions and special provisions shall remain the same.

ISSUED BY:



Kevin Davidson  
Planning Director

Encl: Sign-In Sheet  
Revised Architectural Plans  
Revised Schedule of Values and Bid Additive Tables from p. 26 of IFB

cc: File

Pre-Bid Sign-In Sheet for IFB No. 03-2023 for HIP Home Renovation in Peach Springs

9/14/2023

	Name	Company	Telephone	E-mail
1	<i>Steph Aldine</i>	<i>SM Construction</i>	<i>928 530 8732</i>	<i>C.Moline979@gmail.com</i>
2	<i>Paul Wilson</i>	<i>Planning Consultant</i>	<i>928-709-1310</i>	<i>Kenn.Dawson@peachsprings.gov</i>
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**IFB NO. 03-2023, Renovation of Single-Family Home in Peach Springs, AZ****Schedule of Values**

A	B	C
ITEM NO.	DESCRIPTION OF WORK	SCHEDULED VALUE
1	Selective Demolition	
2	Master Bathroom	
3	Bathroom No. 2 + new door & frame	
4	Kitchen base cabinetry	
5	Balance of drywall repair & paint	
6	New Propane Furnace	
7	New Roofing and Sheathing as needed	
8	Exterior wall repair & paint	
9	New front entrance ADA ramp	
10	Insurance (+ Bond if \$100,000+ bid)	
11	Site Supervision & Overhead	
12	Other	
13	5% TERO Tax	
	<b>TOTAL</b>	

**Bid Additive**

A	B	C
ITEM NO.	DESCRIPTION OF WORK	SCHEDULED VALUE
1	Add blown-in insulation in attic to supplement existing blown in insulation	
2	Remove paint from fascia boards and eaves and re-paint	
3	Remove exterior paint and re-paint exterior concrete walls w/ elastomeric paint	
4	Install new double-pane windows per Window Schedule	
5	Close in existing carport (2x wall w/ R11 insulation, 5/8" gyp. bd. & wood siding)	
6	Replace existing propane furnace and evaporative cooler with roof-mounted propane fired gas pack unit	
	<b>TOTAL</b>	

# Renovation of Davis-Wauneka Residence



## Photos of Existing Home



Street view of Residence on Diamond Creek Road



North view of Residence on Diamond Creek Road

## General Notes

1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2018 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE, WITH LOCAL JURISDICTION BUILDING CODE AMENDMENTS AND ALL OTHER APPLICABLE GOVERNING ORDINANCES AND STANDARDS. SEE CODE LIST AT RIGHT.
2. THE DRAWINGS AND NOTES INDICATE THE GENERAL SCOPE OF THE PROJECT, AS SCOPE DOCUMENTS, THE DRAWINGS DO NOT NECESSARILY INDICATE OR DESCRIBE ALL WORK REQUIRED FOR THE FULL PERFORMANCE AND COMPLETION OF THE WORK. THE CONTRACTOR IS TO FURNISH ALL ITEMS REQUIRED FOR PROPER COMPLETION OF THE WORK WITHOUT ADJUSTMENT TO CONTRACT PRICE. IT IS INTENDED THAT THE WORK TO BE OF SOUND AND QUALITY CONSTRUCTION AND THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE INSTALLATION OF ALL ITEMS INDICATED, DESCRIBED OR REASONABLY IMPLIED. ANY ALLOWANCE PROPOSALS OR ANY PROPOSED DEVIATION FROM DRAWINGS MUST BE LISTED IN BID WITH PRICING OF PROPOSED WORK CLEARLY SEPARATED AND EXPLAINED.
3. CONTRACTOR SHALL FULLY FAMILIARIZE HIMSELF WITH THE EXISTING CONDITIONS AND SCOPE OF NEW WORK. THE CONTRACTOR SHALL VISIT THE PREMISE WHERE THIS WORK IS TO BE PERFORMED AND VERIFY ALL SITE CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR SHALL INVESTIGATE, VERIFY, AND BE RESPONSIBLE FOR ALL CONDITIONS AND DIMENSIONS OF THE PROJECT, AND SHALL NOTIFY OWNER ABOUT ANY CONDITION REQUIRING MODIFICATIONS OR CHANGE BEFORE PROCEEDING WITH THE WORK.
4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO ANY COMMENCEMENT OF WORK. ANY DISCREPANCIES SHOWN ON THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE TRIBE.
5. DO NOT SCALE THESE DRAWINGS FOR ACCURACY. ALL DIMENSIONS SHOWN ARE APPROXIMATE AND SHALL BE VERIFIED BY THE CONTRACTOR AT THE PROJECT SITE.
6. ALL EXIT SIGNS REQUIRED ARE TO BE ILLUMINATED PER THE ELECTRICAL CODE AND SHALL BE CEILING OR WALL MOUNTED.
7. ALL REQUIRED EXITS SHALL BE OPERABLE FROM THE INSIDE WITHOUT SPECIAL KNOWLEDGE OR THE USE OF A KEY.
8. PROVIDE BLOCKING OR BACKING PLATE AS REQUIRED TO SECURELY ANCHOR ALL WALL MOUNTED EQUIPMENT (CABINETS, HARDWARE, DOOR BUMPERS, GRAB BARS) ETC.
9. THE GENERAL CONTRACTOR SHALL VERIFY AND COORDINATE WITH ALL TRADES, SIZES AND LOCATIONS OF ALL OPENINGS MECHANICAL, AND ELECTRICAL EQUIPMENT, AS WELL AS POWER, BEFORE PROCEEDING WITH WORK. ANY CONCERNS OR STRUCTURAL CONFLICTS, SHALL BE BROUGHT TO THE ATTENTION OF THE TRIBE.
10. ALL FLOOR OR WALL OPENINGS REQUIRED FOR PIPES, DUCTS, CONDUITS, ETC. SHALL BE SEALED IN AN AIR TIGHT MANNER. ALL RATED ASSEMBLIES SHALL BE MAINTAINED AND REPAIRED AS REQUIRED TO MEET CODE.
11. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE ELECTRICAL RECEPTACLES, J-BOXES AND SWITCHES TO AVOID CASEWORK, DOORS, ETC.
12. VERIFY DIMENSIONS AND LOCATIONS OF ALL OPENINGS, BASES, ETC., AND PROVIDE ANY SPECIAL PROVISIONS REQUIRED FOR EQUIPMENT, DUCTS, PIPING, CONDUITS, FINISH HARDWARE, ETC.
13. ALL FLOORING TRANSITIONS AND DOOR THRESHOLDS TO BE A MAXIMUM OF 1/2" IN HEIGHT DIFFERENCE WITHOUT THE USE OF A RAMP.
14. FIRE EXTINGUISHERS ARE TO BE PROVIDED IN ACCORDANCE WITH THE IFC AND NFPA 10.

## Sheet Index

C	Cover Sheet
D-1	Selective Demolition Floor Plan
A-1	New Construction Floor Plan
A-2	Roof Plan
A-3	Exterior Elevations
A-4	Interior Elevations

## Code Compliance

2018 International Residential Code (IRC)  
2017 National Electric Code (NEC)

## Grant Information

2023 Housing Improvement Program  
Award No. A16AV01017-0010

## Jurisdictional

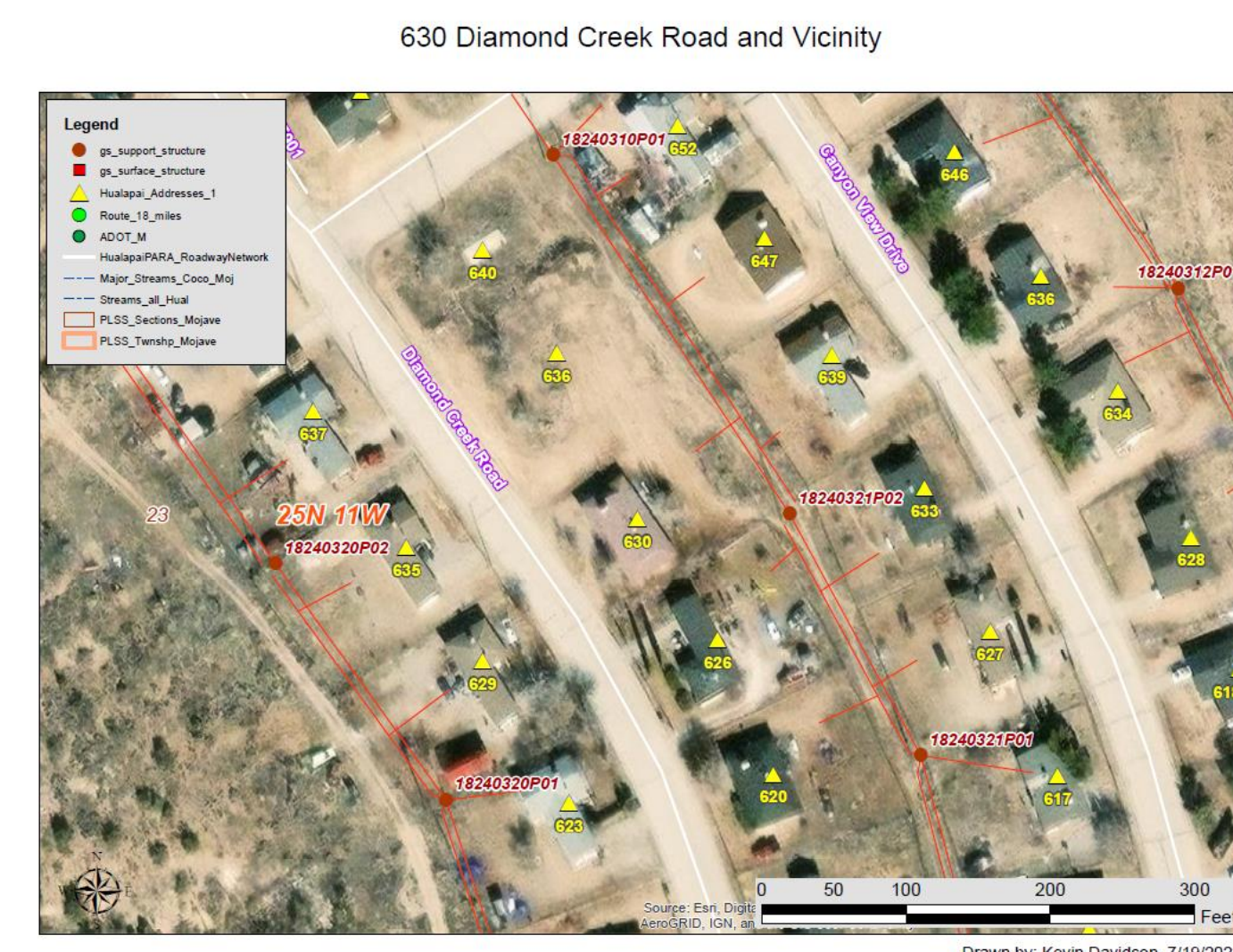
Hualapai Planning and Economic  
Development Department  
(928) 769-1310, Kevin Davidson, Director

Hualapai Fire Department  
(928) 769-2656, Kris Blake, Chief

Hualapai Public Services  
(928) 769-2216, Phil Wisely, Director

## Legal Description

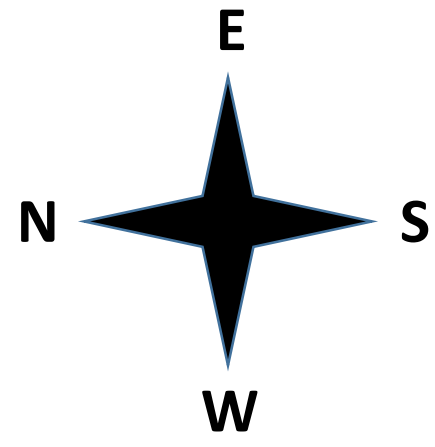
Lot 12, Tract D, AZ17-2, Sect 23, T25N,  
R11W, G&SRM containing 0.29 acres



Project: Single-Family Home  
Address: 630 Diamond Creek Road, Peach Springs, Arizona  
Sponsor: Hualapai Planning & Economic Development Department

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**Cover**



# Selective Demolition Floor Plan

Scale: 1/4" = 1' - 0"



**General Notes:**

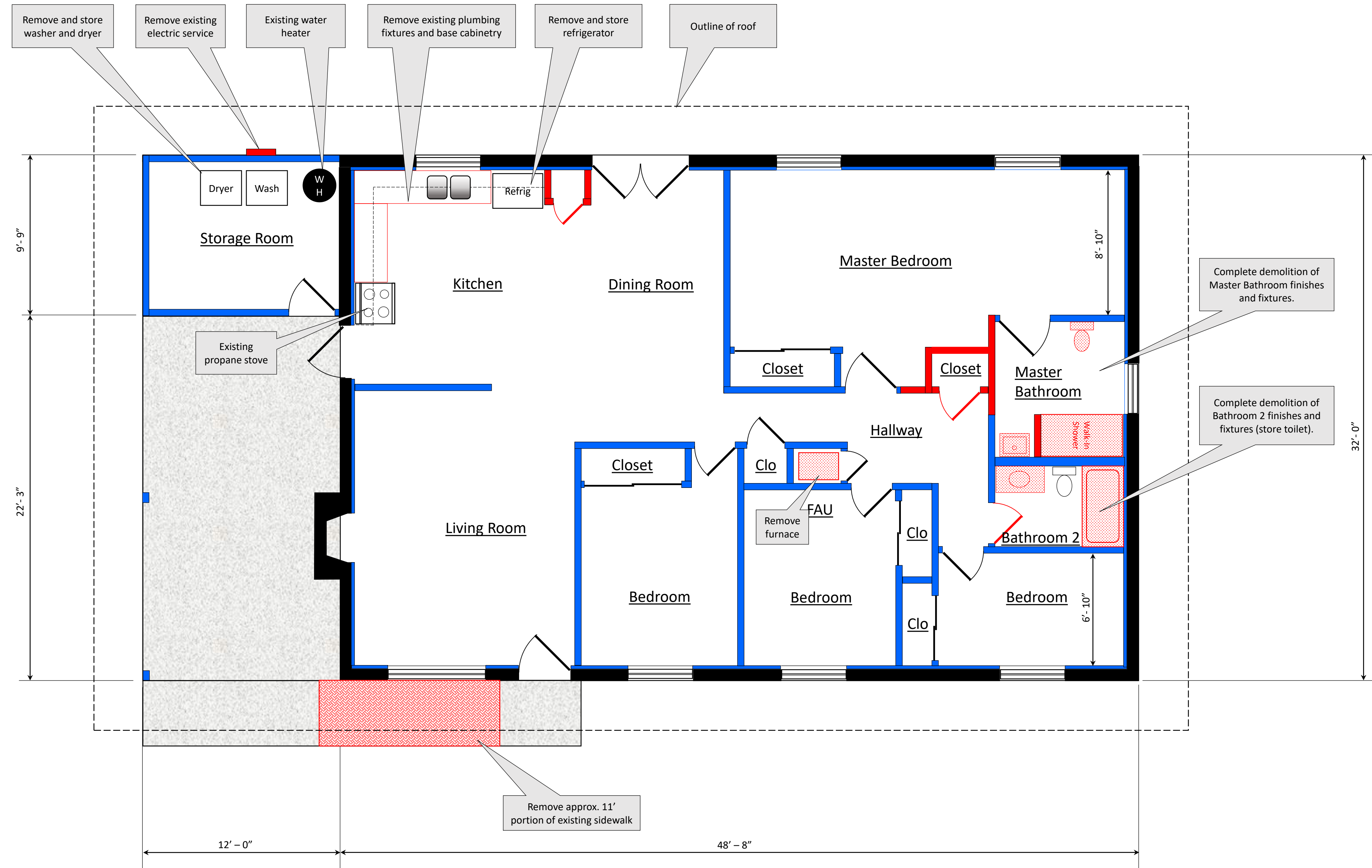
Existing 1,674 sq. ft. home constructed ca. 1970 (HUD Project AZ-14-2)  
 CMU slump block exterior walls with wallboard mounted on furring strips and 2x stud interior wall framing w/ wallboard.  
 2x wood trusses at 24" O.C. w/ plywood sheathing and wallboard ceiling.  
 Gas heater w/ forced air unit in Hall closet and evaporative cooler mounted on roof.

**Demolition Notes:**

Remove exterior paint on fascia and eaves  
 Remove roof shingles and underlayment  
 Remove roof sheathing as needed  
 Remove windows (Bid Alternate)  
 Complete Master Bath demolition  
 Remove pantry and base cabinets in Kitchen  
 Remove part of exist sidewalk for new ADA ramp to front door.

**Legend:**

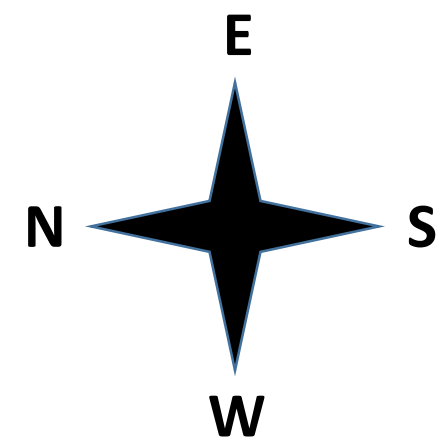
- Remove wall
- Exist CMU wall to remain
- Exist conc. slab to remain
- Exist 2x wall to remain



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**D-1**



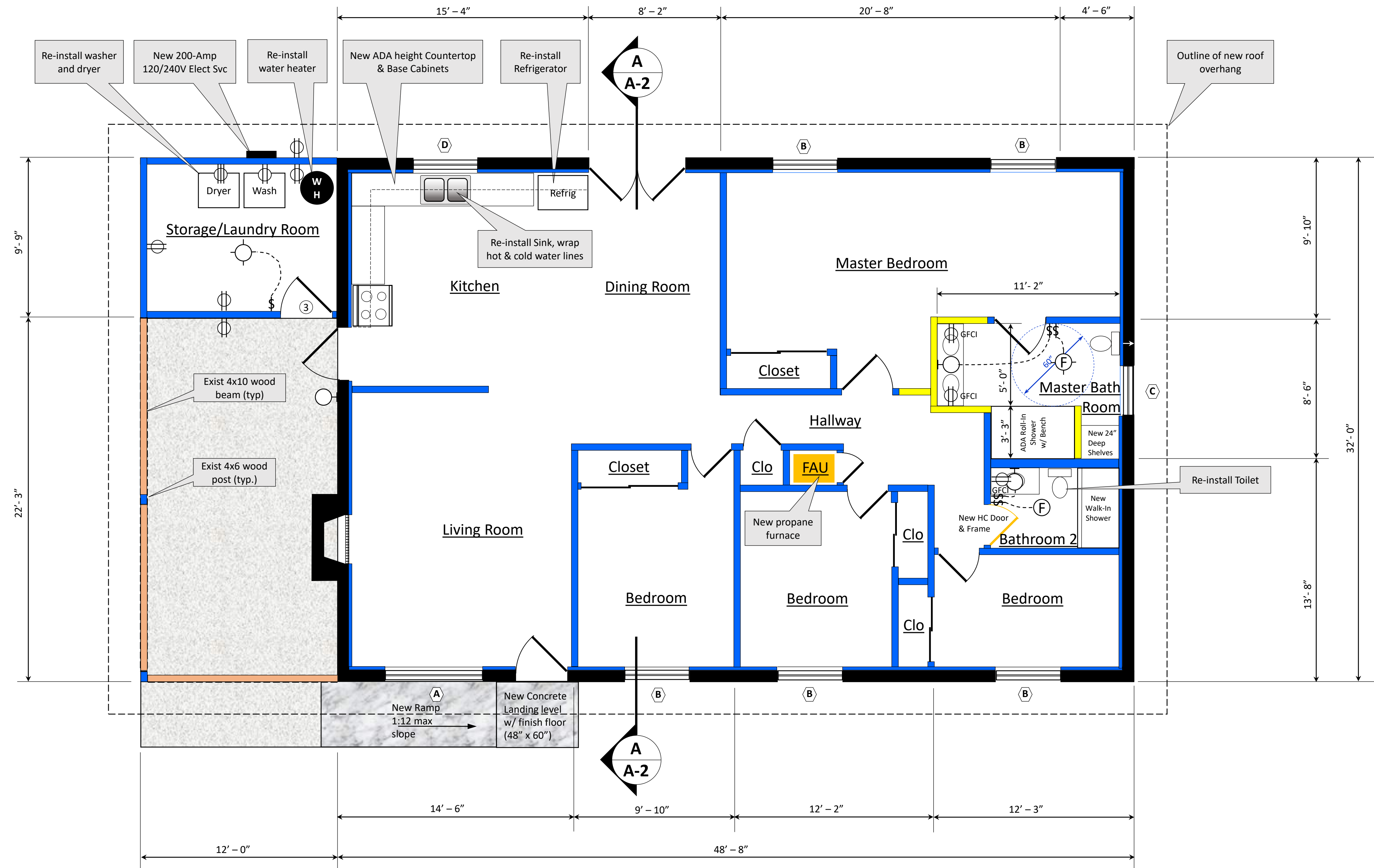
# New Construction Floor Plan

Scale: 1/4" = 1'-0"



**SCOPE OF WORK FOR HOME AT 630 DIAMOND CREEK RD SHALL INCLUDE THE FOLLOWING DESIGN FEATURES AND AMENITIES:**

- Selective demolition of interior walls, cabinetry, plumbing fixtures, floor tile, wood siding, roofing, etc..
- Frame new 2x4 interior walls @ 24" O.C. and apply 5/8" gyp board over mineral wool sound insulation.
- Patch, repair and paint interior gypsum board as occurs.
- Place asphalt roof shingles (Owens Corning or equal), over breathable synthetic underlayment and replace existing roof sheathing as needed.
- Repair/replace and paint exterior wood siding on Laundry Room to match existing.
- Use low VOC, latex enamel paint on interior walls.
- New 4" concrete (3,000 psi) ADA ramp at front door.
- New 200-amp electric service.
- New 4-ton propane furnace
- Master Bath electrical outlet (GFCI), switch, light fixture, ceiling fan to meet 2017 NEC. Electrical outlets and switches shall be Leviton, Slater, or equal.
- New vinyl plank flooring in bathrooms.
- New ADA grab bars and hardware in Master Bathroom.
- New ADA compliant plumbing fixtures in Master Bathroom.
- New 4" vinyl base in Master Bathroom.
- Re-install washer and dryer as shown on plan.
- Re-install water heater.
- Re-install toilet in Bathroom 2
- Repair service lines, including propane gas line, as needed.
- Place R-30 insulation batts in attic (Bid Additive).
- Remove exterior paint and re-paint exterior concrete walls w/ elastomeric paint (Bid Additive).
- Remove paint from fascia boards and eaves and re-paint (Bid Additive).
- New double-pane insulated windows (Bid Additive see window schedule).
- Close in existing carport (Bid Additive 2x wall w/ R11 insulation, 5/8" gyp. bd. & wood siding)



**General Notes:**

- Existing 1,674 sq. ft. home constructed ca. 1970 (HUD Project AZ 14-2)
- Existing concrete slab. Verify slab is in good condition and patch & repair as needed.
- Existing CMU slump block exterior walls to remain. Verify solid grouting and rebar reinforcing in CMU walls at 48" O.C.

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**Electrical Legend:**

- Ceiling mounted Exhaust Fan
- Ceiling mounted Smoke/CO detector
- Ceiling mounted Light Fixture
- Ceiling mounted Fan/Light Fixture
- Wall-Mount Light
- Duplex electric Outlet
- 240 V Outlet
- Light switch

**Wall & Floor Legend:**

- Existing CMU wall
- New 2x interior wall
- New 2x exterior wall
- Exist 2x wall
- Exist conc. slab to remain
- New conc. ramp & slab

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**Code Compliance:**  
 IRC 2018  
 NEC 2017

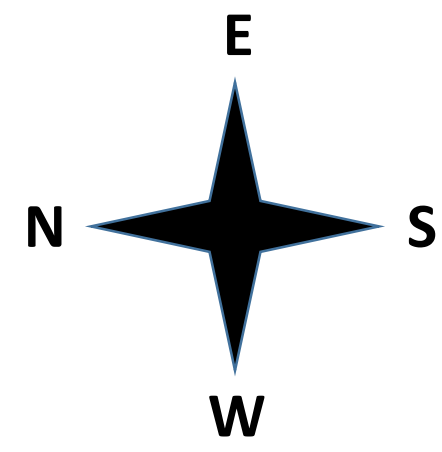
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**A-1**

Window Schedule for Bid Additive No. 4					
Type	Size	Glass	Frame	U-Factor	Remarks
A	6'-0" x 4'-0" XO	Dual-pane, Low-E	Wood/Vinyl	< 0.26	
B	4'-0" x 4'-0" XO	Dual-pane, Low-E	Wood/Vinyl	< 0.26	
C	3'-0" x 1'-0" XO	Dual-pane, Low-E	Wood/Vinyl	< 0.26	fog glaze
D	4'-0" x 3'-0" XO	Dual-pane, Low-E	Wood/Vinyl	< 0.26	

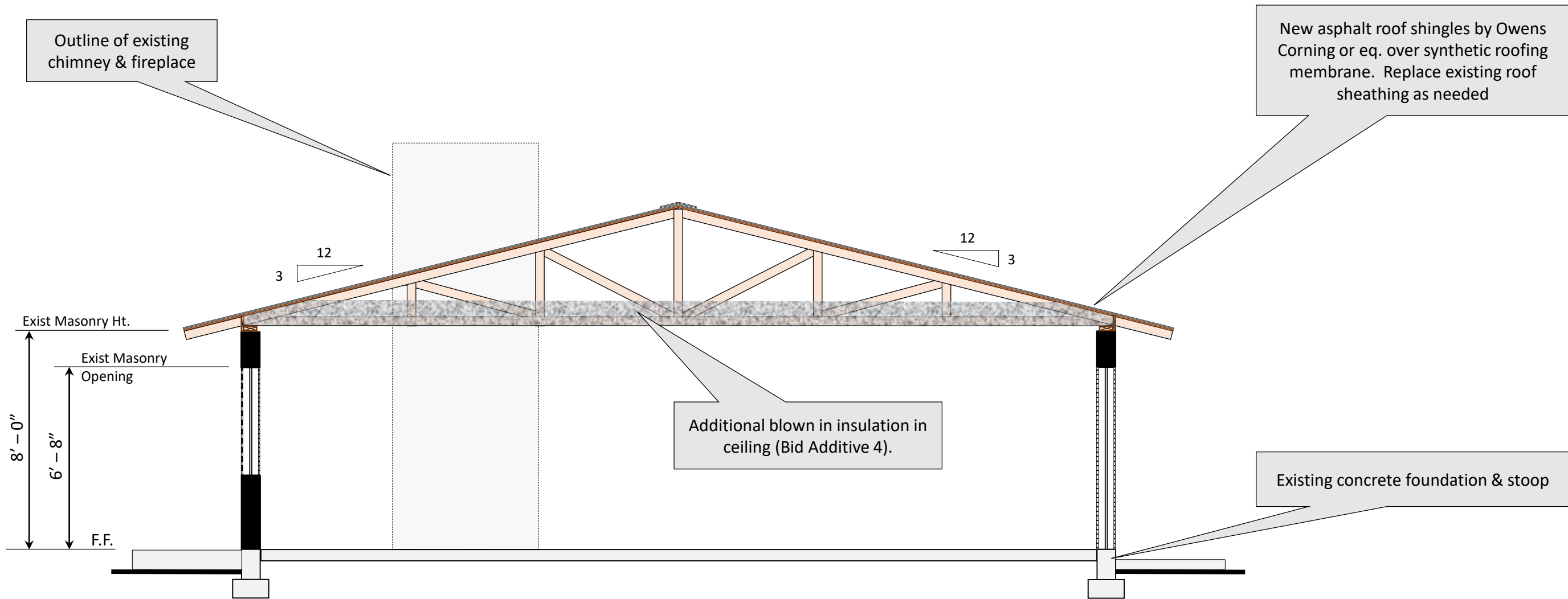
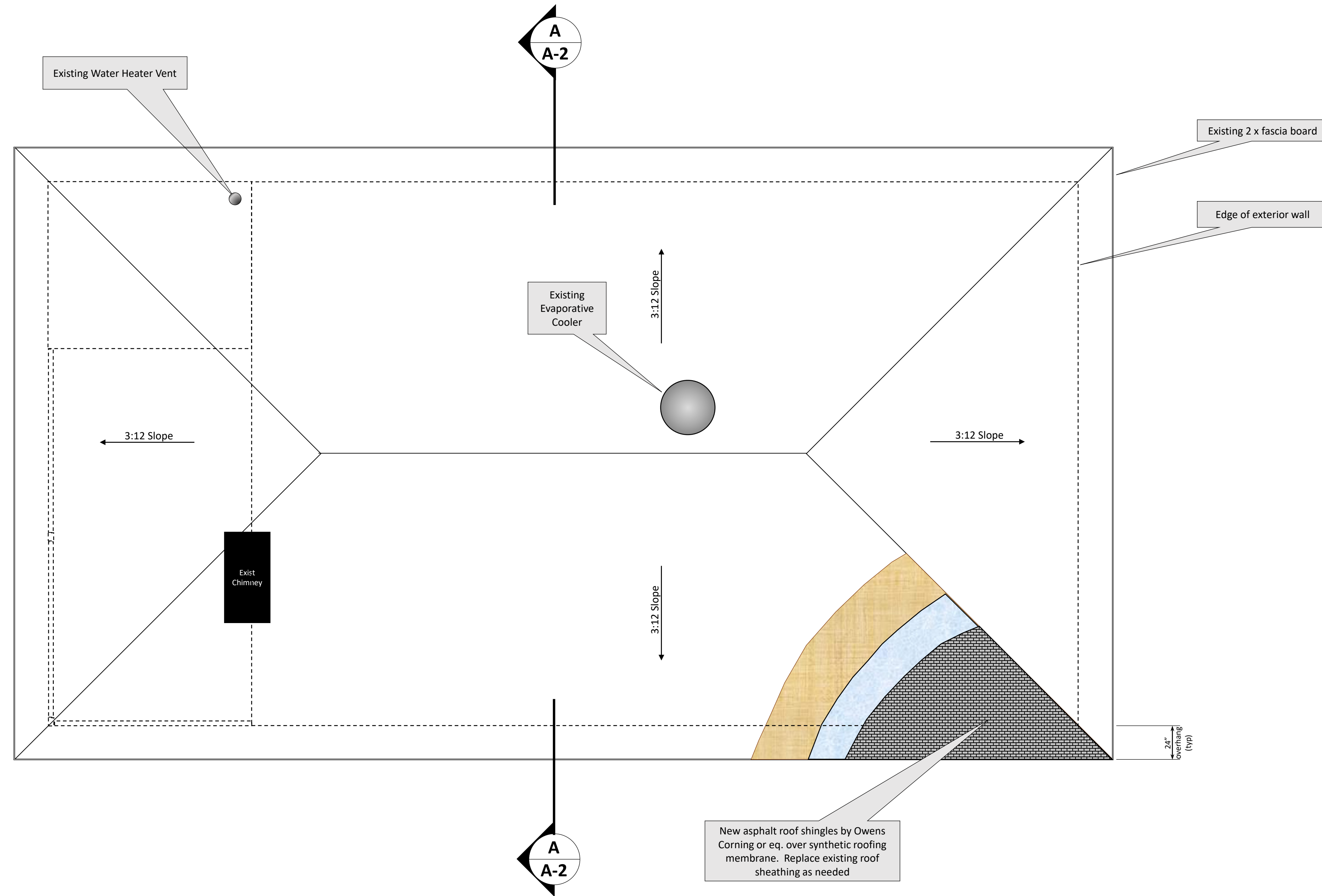
**Bid Additives**

- No. 1 - Add blown-in insulation to achieve R30 value
- No. 2 - Remove paint from fascia boards and eaves and re-paint
- No. 3 - Remove exterior paint and re-paint exterior concrete walls w/ elastomeric paint
- No. 4 - Install new double-pane windows per Window Schedule
- No. 5 - Close in existing carport (2x wall w/ R11 insulation, 5/8" gyp. bd. & wood siding)
- No. 6 - Replace existing propane furnace & evaporative cooler with roof-mounted propane fired gas pack unit



# Roof Plan

Scale: 1/4" = 1'-0"



## Cross-Section A

Scale: 1/4" = 1'-0"

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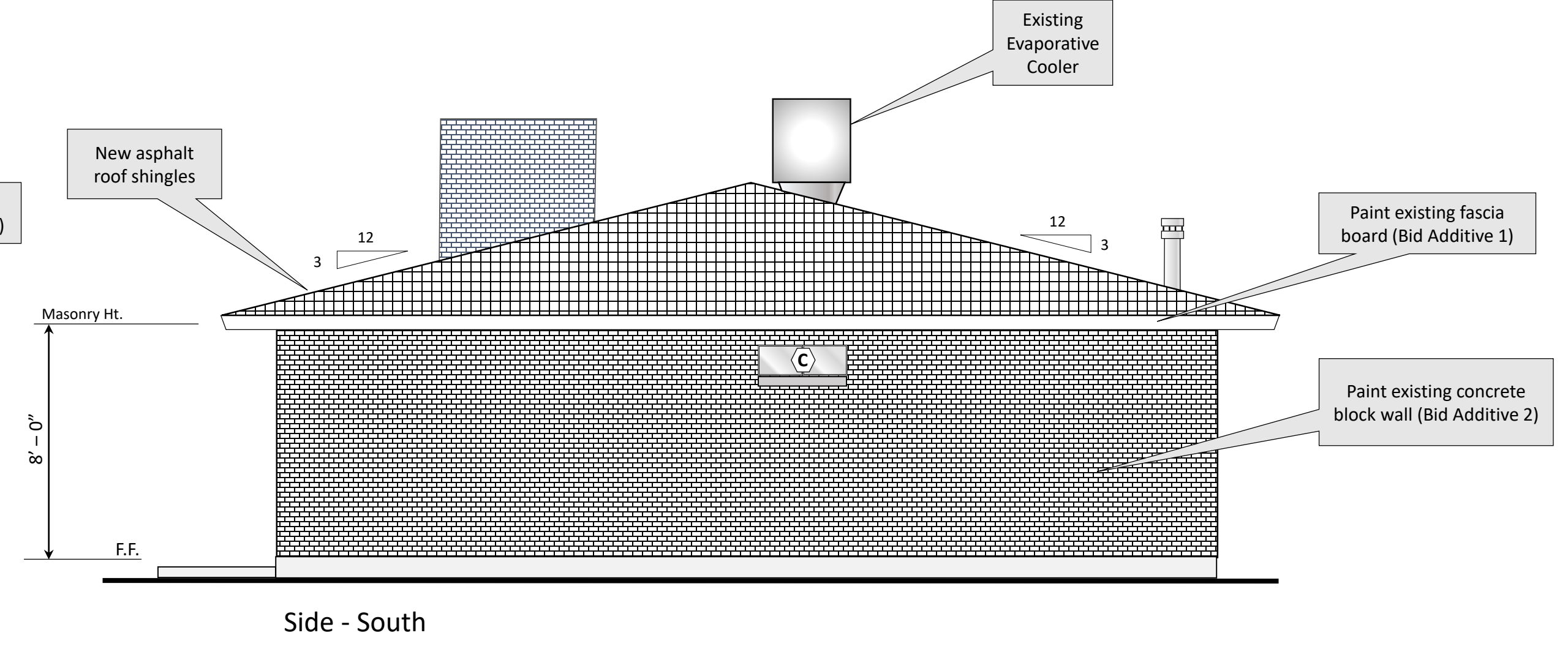
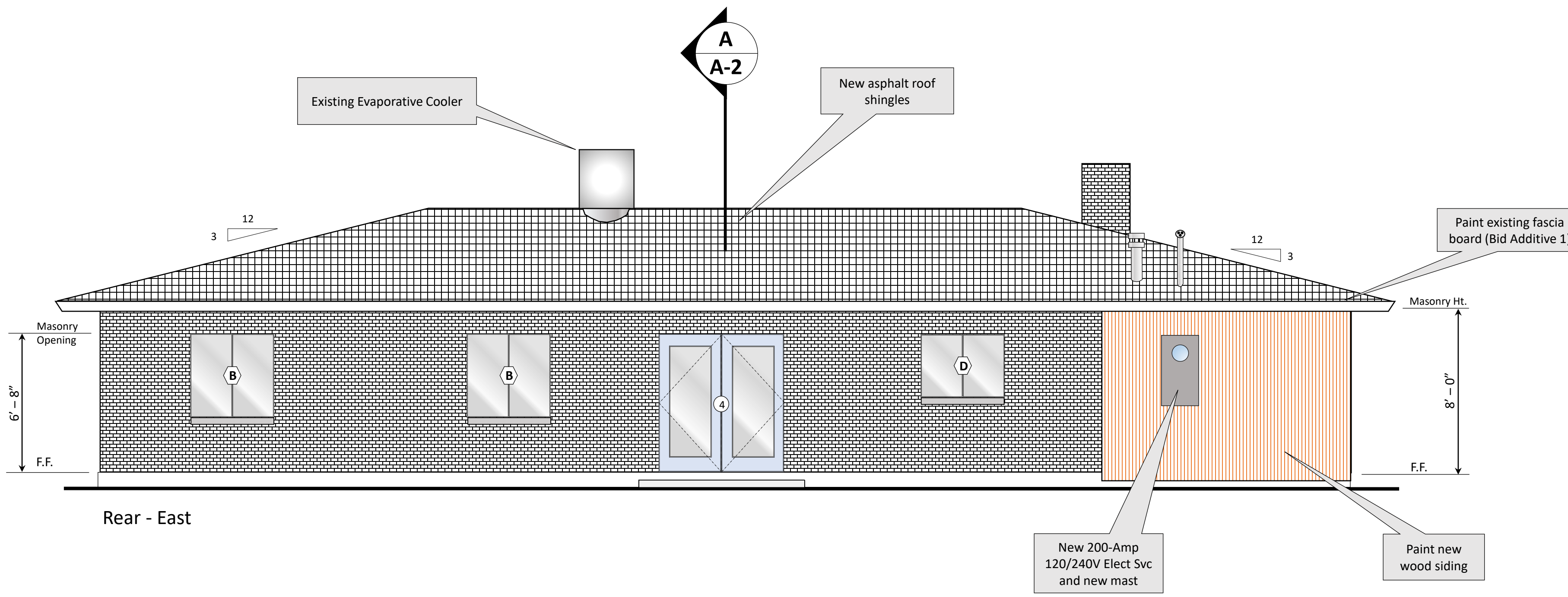
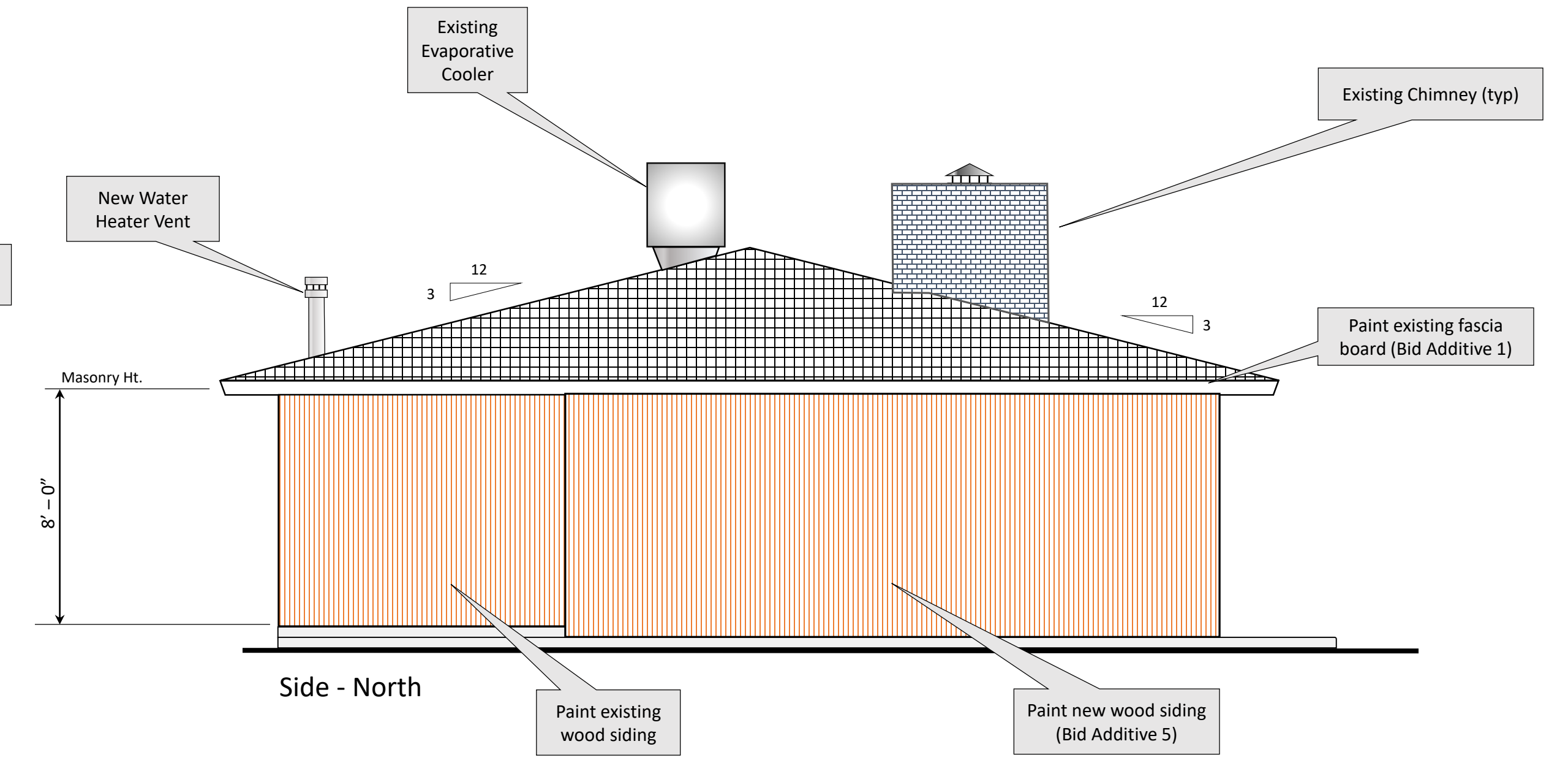
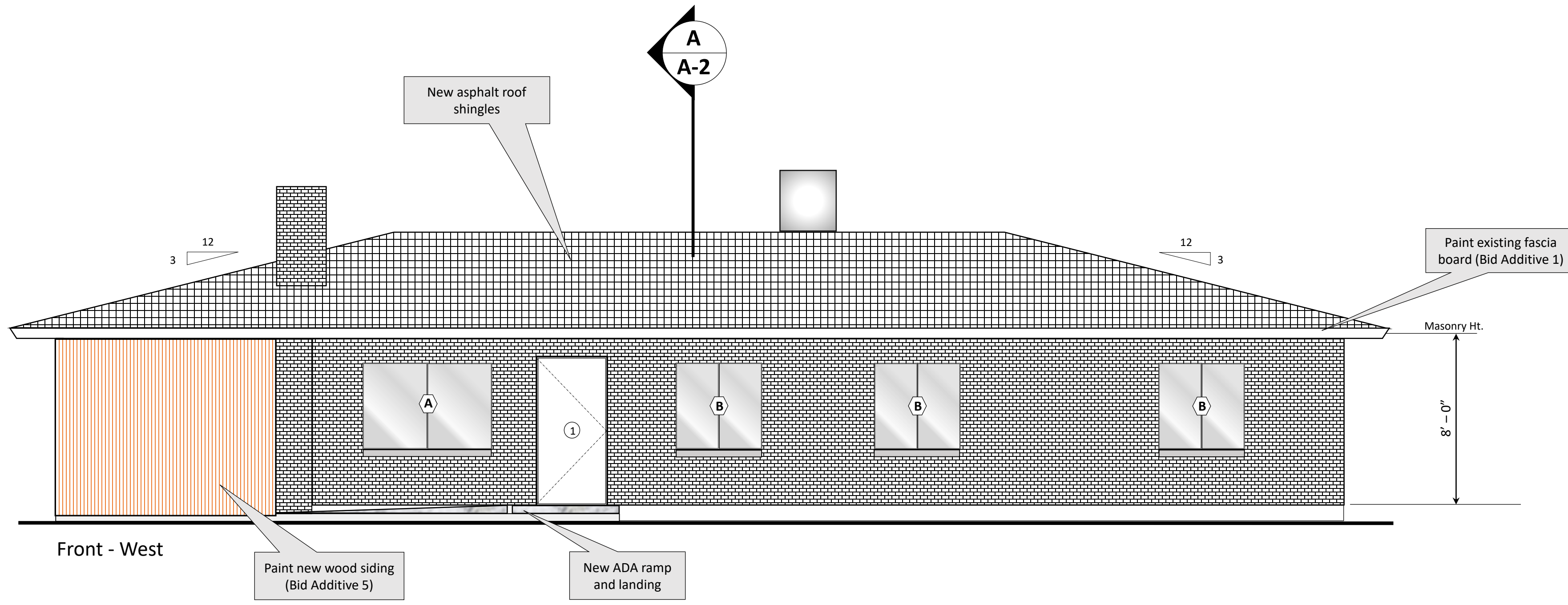
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**A-2**



# Exterior Elevations

Scale: 1/4" = 1'-0"



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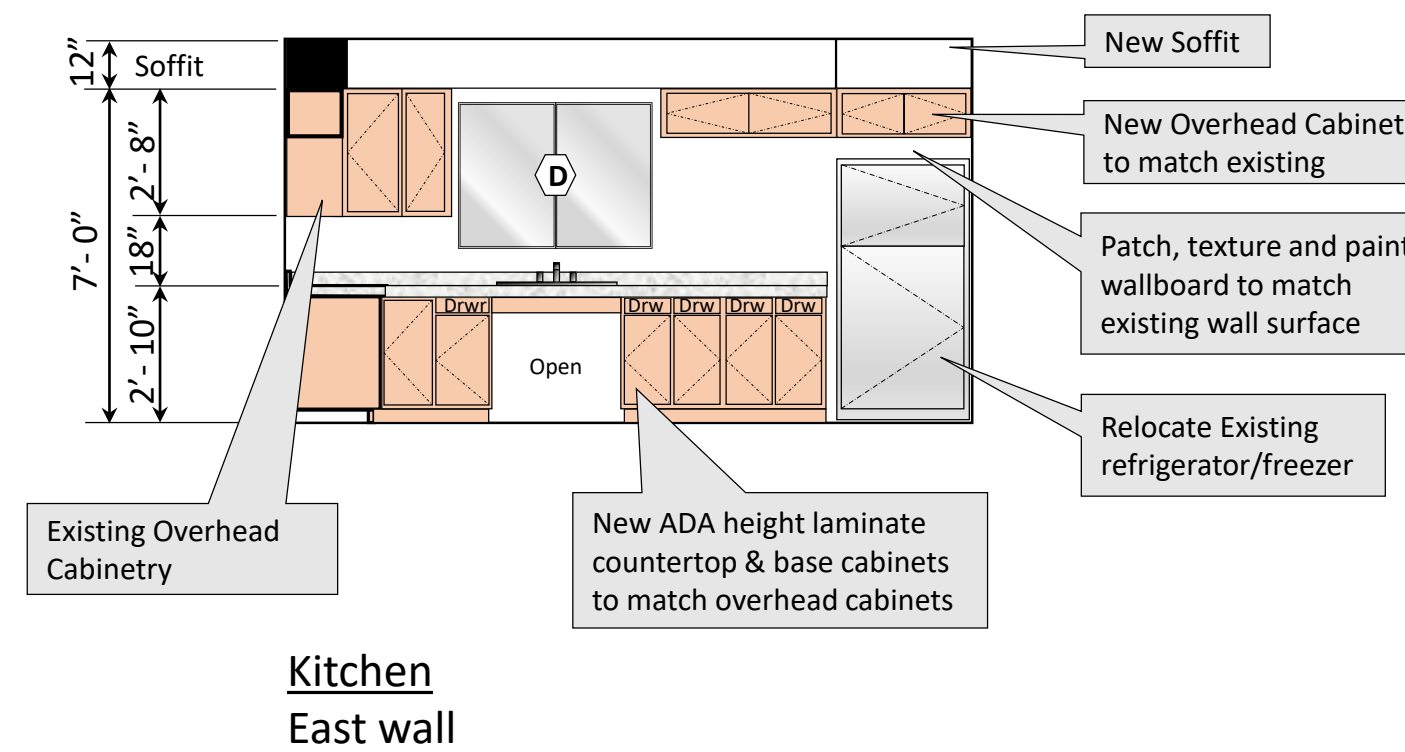
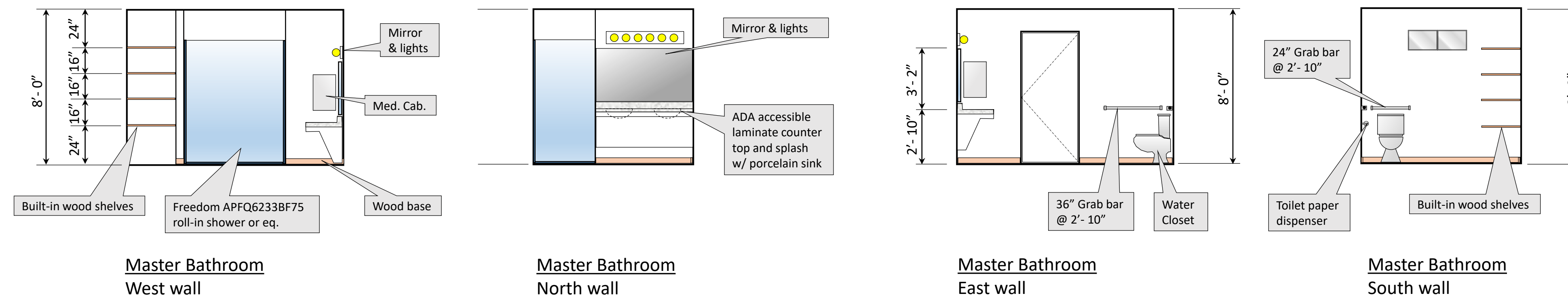
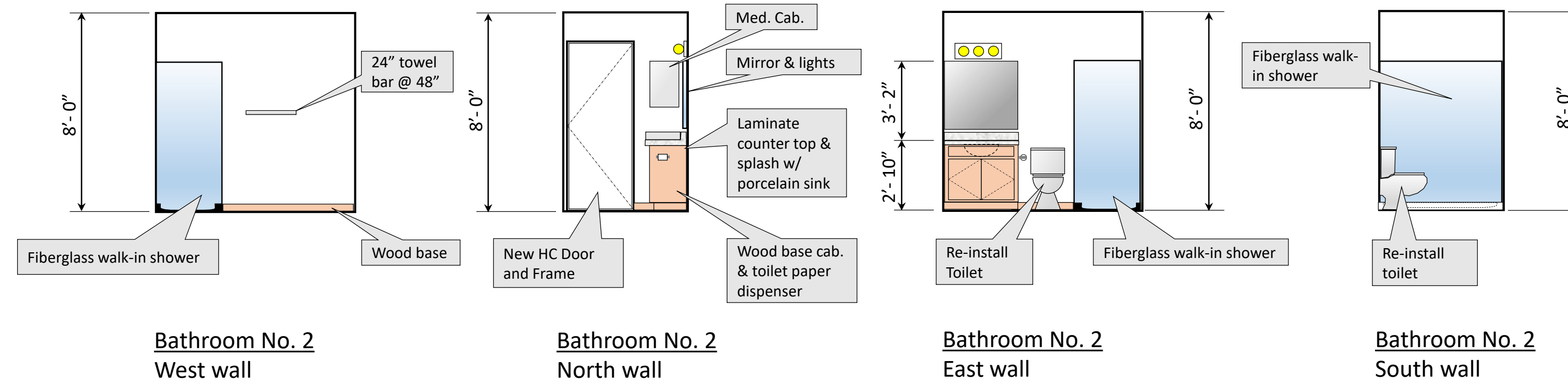
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**A-3**



# Interior Elevations

Scale: 1/4" = 1' - 0"



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